



Serving your real estate needs since 1968

106 S. Main St., Monona, IA 52159

(563) 539-2015

freedomagencymonona.com

Jim Moritz, Broker Cell: 563-880-8189

Isaac Brehmer, Sales Associate Cell: 563-880-6428



Brenton Buildings, LLC

4 unit Townhouse - to be built

\$250,000 for each unit (Units #2, #3, and #4 available)

with optional upgrade available for screened-in porch or all seasons room

Imagine having a place to call home right in the beautiful town of Monona, Iowa. If you find the qualities of a convenient location, neighborhood amenities, and owning a newly built home attractive, this to-be-built 4 unit townhouse could be the right fit for you. Each spacious unit has a 2-Bed, 2-bath, and a 2-vehicle garage. All this on a single level. Each unit will include a 12' x 12' uncovered patio. The options to upgrade are as follows:

12' x 12' screened-in porch for an additional cost of \$6,000.00

12' x 12' all seasons room for an additional cost of \$11,000.00

16' x 16' all seasons room for an additional cost of \$15,627.00

**Brenton Buildings, LLC Townhouse
Estimated Property Tax Breakdown**

****These are only estimates and are subject to change****

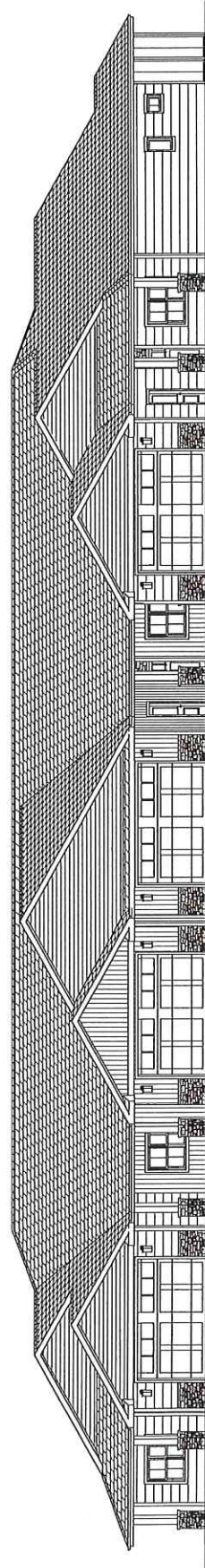
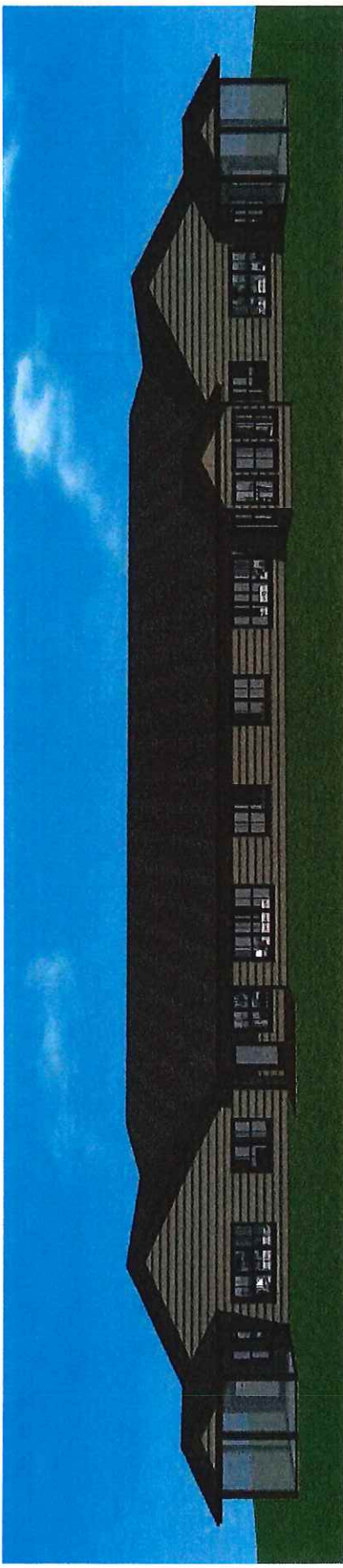
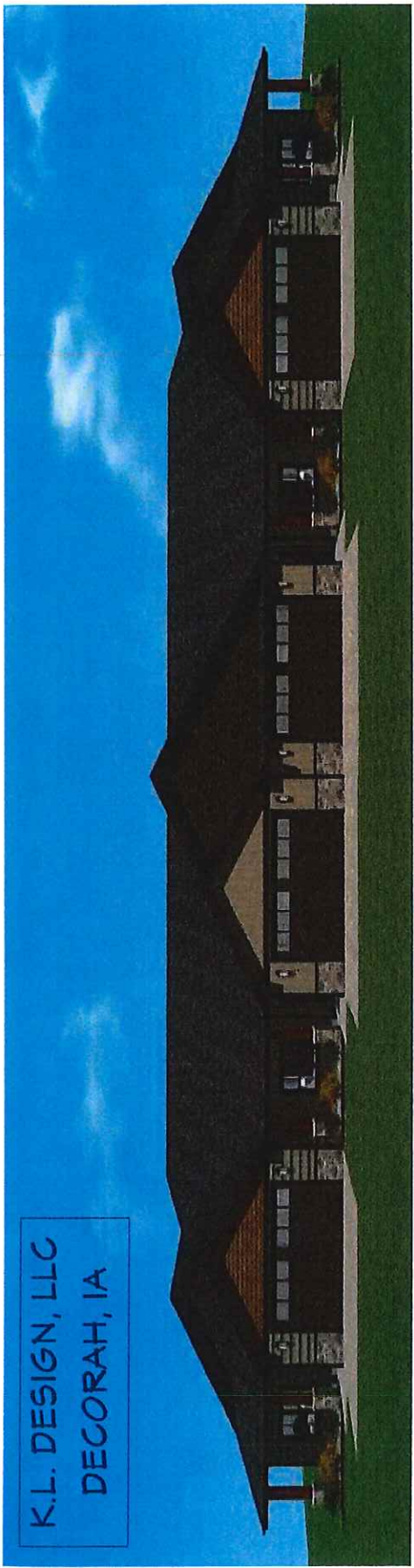
Assessment	\$250,000
Residential Roll Back	x <u>.0541302</u>
Taxable Value	\$135,325
Levy	x <u>.0366542 (last years number)</u>
Annual Taxes	\$4,960

Urban Revite

Assessment	\$250,000
Urban Revite	<u>-\$75,000</u>
Adjusted Assessment	\$175,000
Residential Roll Back	x <u>.0541302</u>
Taxable Value	\$94,728
Levy	x <u>.0366542 (last years number)</u>
Annual Taxes	\$3,471

Five year savings: \$4,960 – \$3,471 = \$1,489 x 5 years = \$7,445

K.L. DESIGN, LLC
DECORAH, IA



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

FORMANEK 4 PLEX

K.L. DESIGN, LLC
DECORAH, IA
563.380.3500
KLDESIGNLLC@GMAIL.COM

DATE:
7/5/2022

SCALE:

SHEET:
P-1

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

FORMANEX 4 PLEX

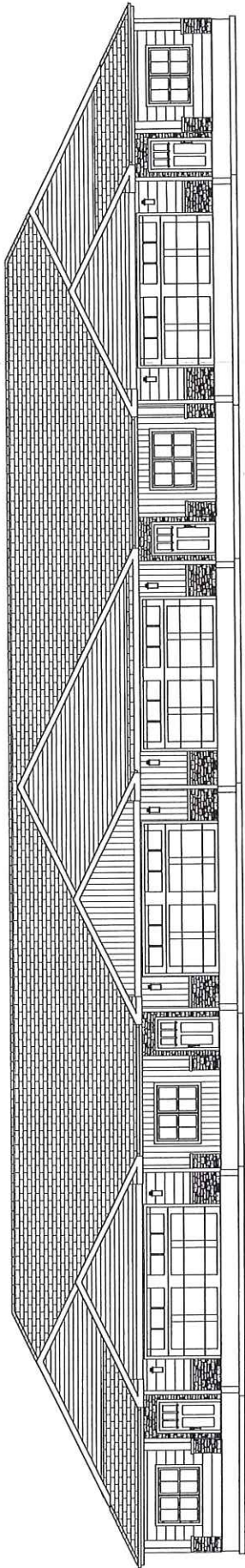
ELEVATIONS
& ROOF PLAN

DRAWINGS PROVIDED BY:
K.L. DESIGN LLC
DECORAH, IA
563.980.9500
KLDESIGNLLC@GMAIL.COM

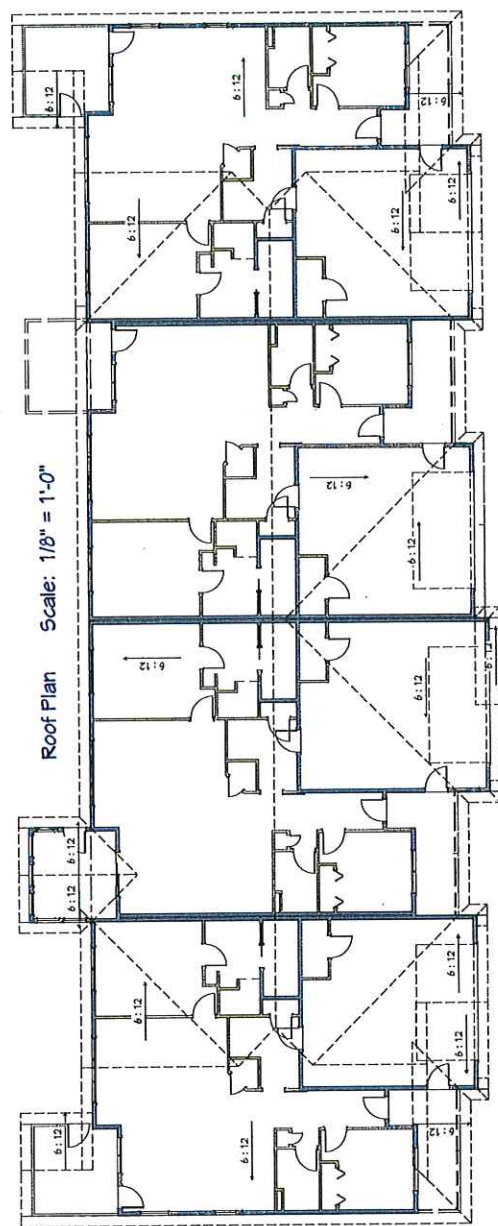
DATE:
7/5/2022

SCALE:

SHEET:
P-2

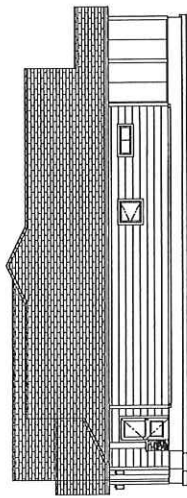


Front Exterior Elevation Scale: 3/16" = 1'-0"

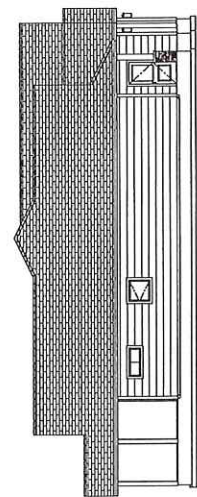


Roof Plan Scale: 1/8" = 1'-0"

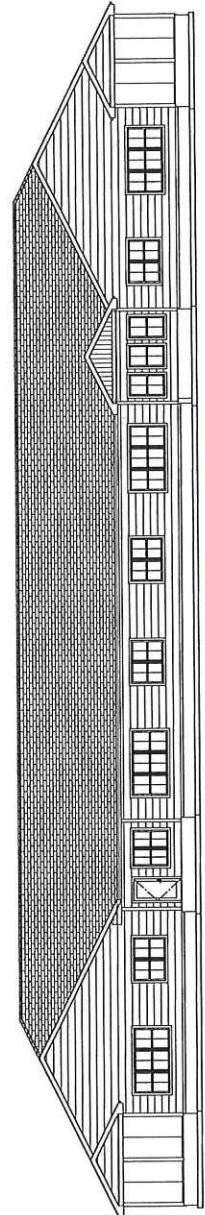
K.L. DESIGN, LLC
DECORAH, IA



Right Exterior Elevation Scale: 1/8" = 1'-0"



Left Exterior Elevation Scale: 1/8" = 1'-0"



Back Exterior Elevation Scale: 1/8" = 1'-0"

Unit #1

Unit #2

Unit #3

Unit #4

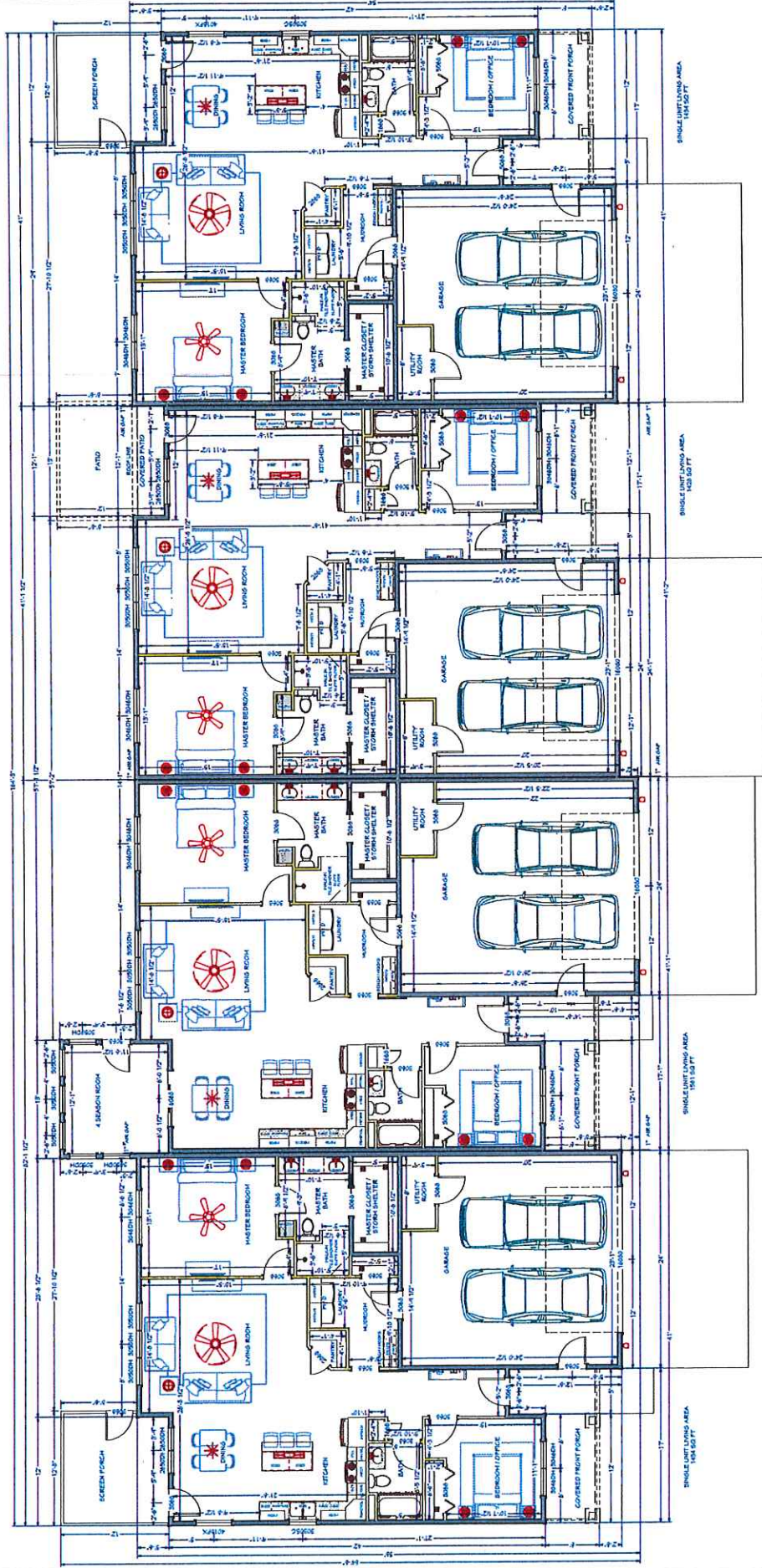
REVISION	DATE	REVISION DESCRIPTION

FORMANCK 4 PLEX

MAIN FLOOR PLAN

K.L. DESIGN LLC
 563.300.3500
 DEORAH, IA
 K.L. DESIGN LLC
 DRAWINGS PROVIDED BY:

DATE: 7/5/2022
 SCALE: 3/16" = 1'-0"
 SHEET: P-3



WALL MEASUREMENTS ARE FRAMING TO FRAMING

EXAMPLES:
 WINDOW SIZE 2650DH = 2'-6" WIDE X 5'-0" TALL DOUBLE HUNG
 WINDOW SIZE 3069 = 3'-0" WIDE X 6'-9" TALL
 DOOR SIZE 3069 = 3'-0" WIDE X 6'-9" TALL
 BASE CABINET SIZE 3093B = THREE DRAWER BASE 36" WIDE
 WALL CABINET SIZE 3093B = 30" WIDE X 36" TALL

TOTAL LIVING AREA
 3071 SQ FT

K.L. DESIGN CO
 563.300.3500
 kl.design@ymail.com
 www.kl.design.com

Drawings have not been approved by an architect or engineer. K.L. Design LLC assumes no responsibility for any claims or damages arising from errors, omissions, deficiencies, construction, fault of contractor or defects of drawings. Prior to construction and completion of final plans it is the responsibility of the customer and contractor to determine if the drawings satisfy state and local building codes, project structural requirements, and any other applicable codes and regulations. Project plumbing, heating, electrical, and landscaping plans provided by others.

PRELIMINARY PLAN ONLY
 4 PLEX CONSTRUCTION
 MAIN FLOOR
 CEILING HT 9'

1st Floor

NUMBER	DATE	REVISION BY	DESCRIPTION

FORMANCK 4 PLEX

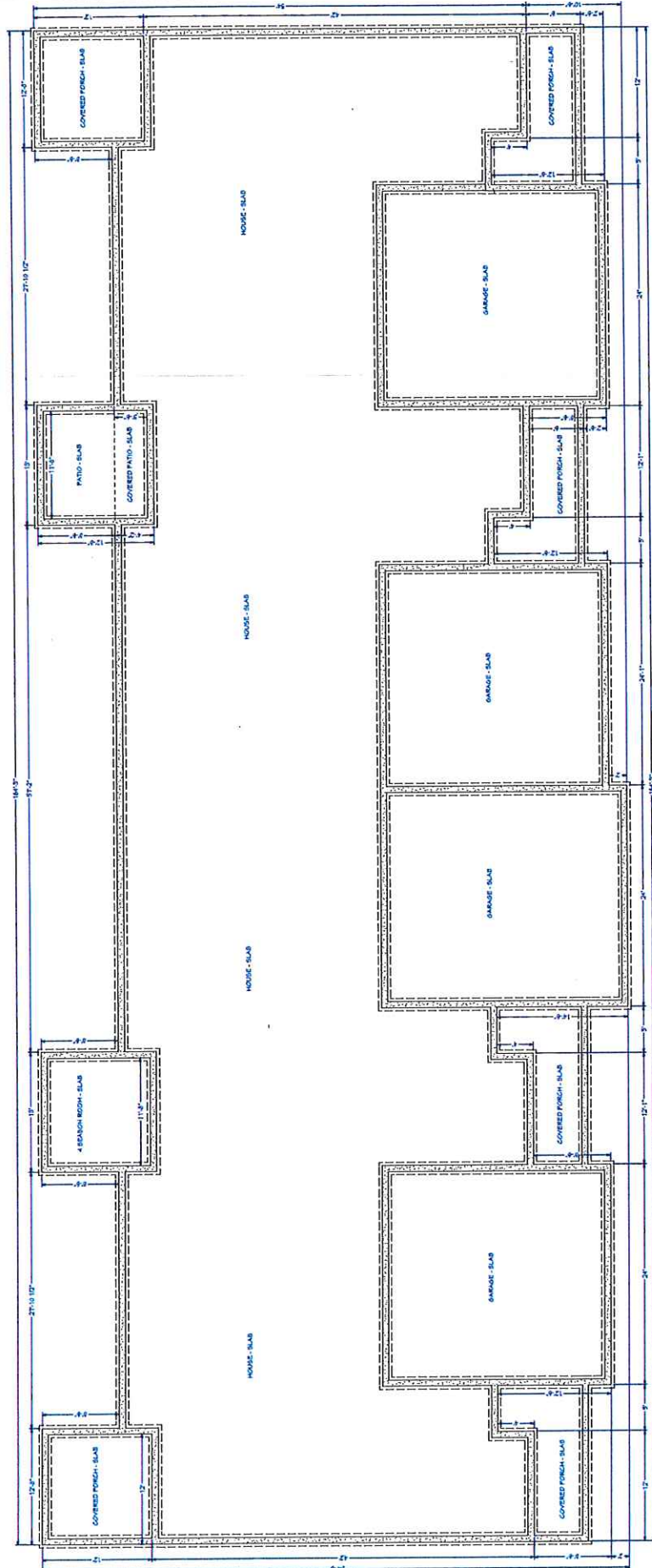
FOUNDATION PLAN

K.L. DESIGN LLC
 563.360.3500
 00567NLLC@GMAIL.COM

DATE: 7/5/2022

SCALE: 1/16" = 1'-0"

SHEET: P-4



Foundation

PRELIMINARY PLAN ONLY
 4 PLEX CONSTRUCTION
 FOUNDATION - SLAB
 8" CONCRETE WALLS
 SCALE: 1/16" = 1'-0"

K.L. DESIGN CO
 563.360.3500
 klidesignllc@gmail.com
 www.klidesignllc.com

Drawings have not been approved by an architect or engineer. K.L. Design LLC assumes no responsibility for any claims or damages arising from errors, omissions, deficiencies, construction, fault of contractor or defects of drawings. Prior to construction and completion of final plans it is the responsibility of the customer and contractor to determine if the drawings satisfy state and local building codes, project structural requirements and existing conditions specific to the site. These layout, plumbing, heating, electrical, and landscaping plans provided by others.

ALL MEASUREMENTS ARE FRAMING TO FRAMING

EXAMPLES:
 WINDOW SIZE 2650DH = 2'-6" WIDE X 5'-0" TALL DOUBLE HUNG
 DOOR SIZE 3068 = 3'-0" WIDE X 6'-8" TALL
 BASE CABINET SIZE 3DB36 = THREE DRAWER BASE 36" WIDE
 WALL CABINET SIZE M3036 = 30" WIDE X 36" TALL



SELLER DISCLOSURE OF PROPERTY CONDITION

(To be delivered prior to buyer making Offer to Buy Real Estate)



Property Owner(s) & Address:

Brenton Buildings, LLC

Unit 1 Gordon Subdivision, Monona, IA 52159-address TBD

Purpose of Disclosure: Completion of Section I this form is required under Chapter 558A of the Iowa code which mandates the Seller(s) disclose condition and information about the property, unless exempt:

Exempt Properties: Properties exempted from the Seller's disclosure requirement include (IA Code 558A): Bare ground; property containing 5 or more dwellings units; court ordered transfers; transfers by a power of attorney; foreclosures; lenders selling foreclosed properties; transfers by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust. This exemption shall not apply to a transfer of real estate in which the fiduciary is a living natural person and was an occupant in possession of the real estate at any time within the twelve consecutive months immediately preceding the date of transfer; between joint tenants, or tenants in common; to or from any governmental division; quit claim deeds; intra family transfers; between divorcing spouses; commercial or agricultural property which has no dwellings. Seller(s) certifies that the property is exempt from the requirement(s) of Iowa Code 558A because one of the above exemptions apply. If claiming an exemption, sign here and stop.

_____ Seller	_____ Date	_____ Seller	_____ Date
_____ Buyer	_____ Date	_____ Buyer	_____ Date

Instructions to the Seller: (1) Complete this form yourself. (2) Report known conditions materially affecting the property and utilize ordinary care in obtaining the information. (3) Provide information in good faith and make a reasonable effort to ascertain the required information. (4) Additional pages or reports may be attached. (5) If some items do not apply to your property, write "NA" (not applicable). (6) All approximations must be identified "AP". If you do not know the facts, write or check UNKNOWN. (7) Keep a copy of this statement.

Seller's Disclosure Statement: Seller discloses the following information regarding the property and certifies this information is true and accurate to the best of my/our knowledge as of the date signed. Seller authorizes Agent to provide a copy of this statement to any person or entity in connection with actual or anticipated sale of the property or as otherwise provided by law. This statement shall not be a warranty of any kind by Seller or Seller's Agent and shall not be intended as a substitute for any inspection or warranty the purchaser may wish to obtain. The following are representations made by Seller and are not by any Agent acting on behalf of the Seller. **The Agent has no independent knowledge of the condition of the property except that which is written on this form. Seller advises Buyer to obtain independent inspections relevant to Buyer.**

Seller initials BF Buyer initials _____

I. Property Conditions, Improvements and Additional Information: (Section I is Mandatory)

EACH AND EVERY LINE MUST BE ADDRESSED AND MARKED

1. **Basement/Foundation:** Has there been known water or other problems? Yes No Unknown

1A. If yes, please explain: NEW construction to be built

2. **Roof:** Any known problems? Yes No Unknown

2A. Type _____

2B. Date of repairs/replacement (If any) _____

Describe: New construction to be built

3. **Well and pump:** Any known problems? Yes No Unknown

3A. Type of well (depth/diameter), age and date of repair: _____

3B. Has the water been tested? Yes No Unknown

3C. If yes, date of last report/results: new construction to be built

4. **Septic tanks/drain fields:** Any known problems? Yes No Unknown

Location of tank N/A Age _____ Unknown

Has the system been pumped and inspected within the last 2 years?

Yes No Unknown

Date of inspection _____ Date tank last cleaned/pumped _____ N/A

5. **Sewer:** Any known problems? Yes No Unknown NO

5A. Any known repairs/replacement? Yes No Unknown

5B. Date of repairs new construction to be built

6. **Heating system(s):** Any known problems? Yes No New Construction to be built

6A. Any known repairs/replacement? Yes No

6B. Date of repairs _____

7. **Central Cooling system(s):** Any known problems? Yes No New construction to be built

7A. Any known repairs/replacement? Yes No

7B. Date of repairs _____

8. **Plumbing system(s):** Any known problems? Yes No New construction to be built

8A. Any known repairs/replacement? Yes No

8B. Date of repairs _____

9. **Electrical system(s):** Any known problems? Yes No New construction to be built

9A. Any known repairs/replacement? Yes No

9B. Date of repairs _____

10. **Pest Infestation:** (wood-destroying insects, bats, snakes, rodents, destructive/troublesome animals, etc.)

10A. Any known problems? Yes No Unknown New construction to be built

Date of treatment unknown

10B. Previous Infestation/Structural Damage? Yes No Unknown

Date of repairs _____

11. **Asbestos:** Is asbestos present in any form in the property? Yes No Unknown

11A. If yes, explain: _____

12. **Radon:** Any known tests for the presence of radon gas? Yes No

12A. If yes, test results? _____ Date of last report _____

13. **Lead Based Paint:** Known to be present or has the property been tested for the presence of lead based paint?

Yes No Unknown

13A. Provide lead based paint disclosure.

14. **Any known encroachments, easements, "common areas"** (facilities like pools, tennis courts, walkways or other areas co-owned with others), zoning matters, nonconforming uses, or a Homeowners Association which has any authority over the property? Yes No Unknown

15. Features of the property known to be shared in common with adjoining lot owners, such as walls, fences, roads and driveways whose use or maintenance responsibility may have an effect on the property? Yes No Unknown
16. Structural Damage: Any known structural damage? Yes No Unknown *New construction to be built*
17. Physical Problems: Any known settling, flooding, drainage or grading problems? Yes No Unknown
18. Is the property located in a flood plain? Yes No Unknown
- 18A. If yes, flood plain designation _____
19. Do you know the zoning classification of this property? Yes No Unknown
- What is the zoning? _____
20. Covenants: Is the property subject to restrictive covenants? Yes No Unknown
- If yes, attach a copy OR state where a true, current copy of the covenants can be obtained:
 On file at County Recorder's office or: see Attached

You **MUST** explain any "Yes" responses above (Attach additional sheets if necessary): _____

Seller initials BT Buyer initials MT

II. Appliances/Systems/Services (Note: Section II is for the convenience of Buyer/Seller and is not mandatory):

Notice: Items marked "included" are intended to remain with the property after sale. However, included items may be negotiable between Buyer and Seller, and requested items should be in writing as either included or excluded in any Offer to Buy/Purchase Agreement. The Offer to Buy/Purchase Agreement shall be the final terms of any agreement.

	Included	Working?				Included	Working?		
		Yes	No	OR N/A			Yes	No	OR N/A
Range/Oven	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lawn Sprinkler System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dishwasher	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solar Heating System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Refrigerator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool Heater, Wall liner & equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hood/Fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Well & Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Smoke Alarm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TV receiving Equipment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Septic Tank & Drain field	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sump Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Water System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Alarm System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Sewer System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central AC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plumbing System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Window AC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Central Heating System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central Vacuum	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Water Heater	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gas Grill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Attic Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fireplace/Chimney	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Intercom	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Burning System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Microwave	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Furnace Humidifier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Trash Compactor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sauna/Hot tub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceiling Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locks and Keys	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Softener/Conditioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dryer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LP Tanks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Washer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Keys & Locks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Storage Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swing Set	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Underground "Pet fence"	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Basketball Hoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boat Dock	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boat Hoist	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Pet Collars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Garage door opener	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
				# of collars	_____				
				# of remotes	_____				

Exceptions/Explanations for "NO" responses above: _____

ALL HOUSEHOLD APPLIANCES ARE NOT UNDER WARRANTY BEYOND DATE OF CLOSING.
Warranties may be available for purchase from independent warranty companies.

Seller initials DF [Signature] Buyer initials _____

III. Additional Non-Mandatory Requested Items: Are you as the Seller aware of any of the following:

1. Any significant structural modification or alteration to property? Yes No Unknown Please explain: _____
2. Has there been a property/casualty loss over \$5,000, an insurance claim over \$5,000, OR major damage to the property from fire, wind, hail, flood(s) or other conditions? Yes No Unknown If yes, has the damage been repaired/replaced? Yes No
3. Are there any known current, preliminary, proposed or future assessments by any governing body or owner's association of which you have knowledge? Yes No Unknown
4. Mold: Does property contain toxic mold that adversely affects the property or occupants? Yes No Unknown
5. Private burial grounds: Does property contain any private burial ground? Yes No Unknown
6. Neighborhood or Stigmatizing conditions or problems affecting this property? Yes No Unknown
7. Energy Efficiency Testing: Has the property been tested for energy efficiency? Yes No Unknown If yes, what were the test results? _____
8. Attic Insulation: Type R50 cellulose Unknown Amount _____ Unknown
9. Are you aware of any area environmental concerns? Yes No Unknown If yes, please explain: _____
10. Are you related to the listing agent? Yes No If yes, how? _____
11. Where survey of property may be found: Clayton Co.
12. Wind Farms: Is the subject property encumbered by certain Wind Energy rights? Yes No If yes, rights by: Lease , Easement , Other Define Other: _____ Wind Farm Company, Owner: _____

If the answer to any item is yes, please explain. Attach additional sheets, if necessary: See Attached Covenants

13. Repairs: Any repair(s) to property not so noted: (Date of repairs, Name of repair company if utilized.) (Note: Repairs are not normal maintenance items) (Attach additional sheets, if necessary) None

IV. Radon Fact Sheet & Form Acknowledgement

Seller acknowledges that Buyer be provided with and the Buyer acknowledges receipt of the "Iowa Radon Home-Buyers and Sellers Fact Sheet", prepared by the Iowa Department of Public Health.

Seller [Signature] Seller [Signature] Date 7/26/22

July 2022

Seller has owned the property since 2022 (date). Seller has indicated above the history and condition of all the items based solely on the information known or reasonably available to the Seller(s). If any changes occur in the structural/mechanical/appliance systems of this property from the date of this form to the date of closing, Seller will immediately disclose the changes to Buyer. In no event shall the parties hold Broker liable for any representations not directly made by Broker or Broker's affiliated licensees (brokers and salespersons). **Seller hereby acknowledges Seller has retained a copy of this statement.**

Buyer hereby acknowledges receipt of a copy of this statement. This statement is not intended to be a warranty or to substitute for any inspection the buyer(s) may wish to obtain.

Buyer _____ Buyer _____ Date _____



SELLER DISCLOSURE OF PROPERTY CONDITION

(To be delivered prior to buyer making Offer to Buy Real Estate)



Property Owner(s) & Address:

Brenton Buildings, LLC

Unit 2 Gordon Subdivision, Monona, IA 52159-address TBD

Purpose of Disclosure: Completion of Section I this form is required under Chapter 558A of the Iowa code which mandates the Seller(s) disclose condition and information about the property, unless exempt:

Exempt Properties: Properties exempted from the Seller's disclosure requirement include (IA Code 558A): Bare ground; property containing 5 or more dwellings units; court ordered transfers; transfers by a power of attorney; foreclosures; lenders selling foreclosed properties; transfers by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust. This exemption shall not apply to a transfer of real estate in which the fiduciary is a living natural person and was an occupant in possession of the real estate at any time within the twelve consecutive months immediately preceding the date of transfer; between joint tenants, or tenants in common; to or from any governmental division; quit claim deeds; intra family transfers; between divorcing spouses; commercial or agricultural property which has no dwellings. Seller(s) certifies that the property is exempt from the requirement(s) of Iowa Code 558A because one of the above exemptions apply. If claiming an exemption, sign here and stop.

_____	_____	_____	_____
Seller	Date	Seller	Date
_____	_____	_____	_____
Buyer	Date	Buyer	Date

Instructions to the Seller: (1) Complete this form yourself. (2) Report known conditions materially affecting the property and utilize ordinary care in obtaining the information. (3) Provide information in good faith and make a reasonable effort to ascertain the required information. (4) Additional pages or reports may be attached. (5) If some items do not apply to your property, write "NA" (not applicable). (6) All approximations must be identified "AP". If you do not know the facts, write or check UNKNOWN. (7) Keep a copy of this statement.

Seller's Disclosure Statement: Seller discloses the following information regarding the property and certifies this information is true and accurate to the best of my/our knowledge as of the date signed. Seller authorizes Agent to provide a copy of this statement to any person or entity in connection with actual or anticipated sale of the property or as otherwise provided by law. This statement shall not be a warranty of any kind by Seller or Seller's Agent and shall not be intended as a substitute for any inspection or warranty the purchaser may wish to obtain. The following are representations made by Seller and are not by any Agent acting on behalf of the Seller. **The Agent has no independent knowledge of the condition of the property except that which is written on this form. Seller advises Buyer to obtain independent inspections relevant to Buyer.**

Seller initials BF NT Buyer initials _____

I. Property Conditions, Improvements and Additional Information: (Section I is Mandatory)

EACH AND EVERY LINE MUST BE ADDRESSED AND MARKED

1. **Basement/Foundation:** Has there been known water or other problems? Yes No Unknown

1A. If yes, please explain: New construction to be built

2. **Roof:** Any known problems? Yes No Unknown

2A. Type _____

2B. Date of repairs/replacement (If any) _____

Describe: New construction to be built

3. **Well and pump:** Any known problems? Yes No Unknown

3A. Type of well (depth/diameter), age and date of repair: _____

3B. Has the water been tested? Yes No Unknown

3C. If yes, date of last report/results: New construction to be built

4. **Septic tanks/drain fields:** Any known problems? Yes No Unknown

Location of tank N/A Age _____ Unknown

Has the system been pumped and inspected within the last 2 years?

Yes No Unknown

Date of inspection _____ Date tank last cleaned/pumped _____ N/A

5. **Sewer:** Any known problems? Yes No Unknown

5A. Any known repairs/replacement? Yes No Unknown

5B. Date of repairs New construction to be built

6. **Heating system(s):** Any known problems? Yes No New construction to be built

6A. Any known repairs/replacement? Yes No

6B. Date of repairs _____

7. **Central Cooling system(s):** Any known problems? Yes No New construction to be built

7A. Any known repairs/replacement? Yes No

7B. Date of repairs _____

8. **Plumbing system(s):** Any known problems? Yes No New construction to be built

8A. Any known repairs/replacement? Yes No

8B. Date of repairs _____

9. **Electrical system(s):** Any known problems? Yes No New construction to be built

9A. Any known repairs/replacement? Yes No

9B. Date of repairs _____

10. **Pest Infestation:** (wood-destroying insects, bats, snakes, rodents, destructive/troublesome animals, etc.)

10A. Any known problems? Yes No Unknown New construction to be built

Date of treatment _____

10B. Previous Infestation/Structural Damage? Yes No Unknown

Date of repairs _____

11. **Asbestos:** Is asbestos present in any form in the property? Yes No Unknown

11A. If yes, explain: _____

12. **Radon:** Any known tests for the presence of radon gas? Yes No

12A. If yes, test results? _____ Date of last report _____

13. **Lead Based Paint:** Known to be present or has the property been tested for the presence of lead based paint?

Yes No Unknown

13A. Provide lead based paint disclosure.

14. **Any known encroachments, easements, "common areas"** (facilities like pools, tennis courts, walkways or other areas co-owned with others), zoning matters, nonconforming uses, or a Homeowners Association which has any authority over the property? Yes No Unknown

15. Features of the property known to be shared in common with adjoining landowners, such as walls, fences, roads and driveways whose use or maintenance responsibility may have an effect on the property?

Yes No Unknown

16. Structural Damage: Any known structural damage? Yes No Unknown New construction to be built

17. Physical Problems: Any known settling, flooding, drainage or grading problems? Yes No Unknown

18. Is the property located in a flood plain? Yes No Unknown

18A. If yes, flood plain designation _____

19. Do you know the zoning classification of this property? Yes No Unknown

What is the zoning? _____

20. Covenants: Is the property subject to restrictive covenants? Yes No Unknown

If yes, attach a copy OR state where a true, current copy of the covenants can be obtained:

On file at County Recorder's office or: See Attached

You MUST explain any "Yes" responses above (Attach additional sheets if necessary): _____

Seller initials BF HJT Buyer initials _____

II. Appliances/Systems/Services (Note: Section II is for the convenience of Buyer/Seller and is not mandatory):

Notice: Items marked "included" are intended to remain with the property after sale. However, included items may be negotiable between Buyer and Seller, and requested items should be in writing as either included or excluded in any Offer to Buy/Purchase Agreement. The Offer to Buy/Purchase Agreement shall be the final terms of any agreement.

	Working?					Working?			
	Included	Yes	No	OR N/A		Included	Yes	No	OR N/A
Range/Oven	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lawn Sprinkler System		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dishwasher	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solar Heating System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Refrigerator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool Heater, Wall				
Hood/Fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	liner & equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Well & Pump		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
TV receiving					Smoke Alarm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Equipment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Septic Tank &				
Sump Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drain field		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Alarm System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Water System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central AC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City Sewer System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Window AC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plumbing System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central Vacuum				<input checked="" type="checkbox"/>	Central Heating System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gas Grill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Water Heater		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Attic Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Windows		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Intercom				<input checked="" type="checkbox"/>	Fireplace/Chimney	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Microwave	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Burning System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Trash Compactor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Furnace Humidifier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceiling Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sauna/Hot tub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Softener/					Locks and Keys	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Conditioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dryer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LP Tanks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Washer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Keys & Locks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Storage Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swing Set	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Underground				
Basketball Hoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	"Pet fence"	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boat Hoist	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boat Dock	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pet Collars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Garage door opener	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
				<input checked="" type="checkbox"/>	# of collars				_____
				<input type="checkbox"/>	# of remotes				_____

Exceptions/Explanations for "NO" responses above: _____

ALL HOUSEHOLD APPLIANCES ARE NOT UNDER WARRANTY BEYOND DATE OF CLOSING.
Warranties may be available for purchase from independent warranty companies.

Seller initials BF BJH Buyer initials _____

III. Additional Non-Mandatory Requested Items: Are you as the Seller aware of any of the following:

1. Any significant structural modification or alteration to property? Yes No Unknown Please explain: _____
2. Has there been a property/casualty loss over \$5,000, an insurance claim over \$5,000, OR major damage to the property from fire, wind, hail, flood(s) or other conditions? Yes No Unknown If yes, has the damage been repaired/replaced? Yes No
3. Are there any known current, preliminary, proposed or future assessments by any governing body or owner's association of which you have knowledge? Yes No Unknown
4. Mold: Does property contain toxic mold that adversely affects the property or occupants? Yes No Unknown
5. Private burial grounds: Does property contain any private burial ground? Yes No Unknown
6. Neighborhood or Stigmatizing conditions or problems affecting this property? Yes No Unknown
7. Energy Efficiency Testing: Has the property been tested for energy efficiency? Yes No Unknown If yes, what were the test results? _____
8. Attic Insulation: Type R50 cellulose Unknown Amount _____ Unknown
9. Are you aware of any area environmental concerns? Yes No Unknown If yes, please explain: _____
10. Are you related to the listing agent? Yes No If yes, how? _____
11. Where survey of property may be found: Clayton Co.
12. Wind Farms: Is the subject property encumbered by certain Wind Energy rights? Yes No If yes, rights by: Lease , Easement , Other Define Other: _____
Wind Farm Company, Owner: _____

If the answer to any item is yes, please explain. Attach additional sheets, if necessary: _____
SEE Attached Covenants

13. Repairs: Any repair(s) to property not so noted: (Date of repairs, Name of repair company if utilized.) (Note: Repairs are not normal maintenance items) (Attach additional sheets, if necessary)

IV. Radon Fact Sheet & Form Acknowledgement

Seller acknowledges that Buyer be provided with and the Buyer acknowledges receipt of the "Iowa Radon Home-Buyers and Sellers Fact Sheet", prepared by the Iowa Department of Public Health.

Seller [Signature] Seller [Signature] Date 7/26/22

Seller has owned the property since July 2022 (date). Seller has indicated above the history and condition of all the items based solely on the information known or reasonably available to the Seller(s). If any changes occur in the structural/mechanical/appliance systems of this property from the date of this form to the date of closing, Seller will immediately disclose the changes to Buyer. In no event shall the parties hold Broker liable for any representations not directly made by Broker or Broker's affiliated licensees (brokers and salespersons). Seller hereby acknowledges Seller has retained a copy of this statement.

Buyer hereby acknowledges receipt of a copy of this statement. This statement is not intended to be a warranty or to substitute for any inspection the buyer(s) may wish to obtain.

Buyer _____ Buyer _____ Date _____



SELLER DISCLOSURE OF PROPERTY CONDITION

(To be delivered prior to buyer making Offer to Buy Real Estate)



Property Owner(s) & Address:

Brenton Buildings, LLC

Unit 3 Gordon Subdivision, Monona, IA 52159-address TBD

Purpose of Disclosure: Completion of Section I this form is required under Chapter 558A of the Iowa code which mandates the Seller(s) disclose condition and information about the property, unless exempt:

Exempt Properties: Properties exempted from the Seller's disclosure requirement include (IA Code 558A): Bare ground; property containing 5 or more dwellings units; court ordered transfers; transfers by a power of attorney; foreclosures; lenders selling foreclosed properties; transfers by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust. This exemption shall not apply to a transfer of real estate in which the fiduciary is a living natural person and was an occupant in possession of the real estate at any time within the twelve consecutive months immediately preceding the date of transfer; between joint tenants, or tenants in common; to or from any governmental division; quit claim deeds; intra family transfers; between divorcing spouses; commercial or agricultural property which has no dwellings. Seller(s) certifies that the property is exempt from the requirement(s) of Iowa Code 558A because one of the above exemptions apply. If claiming an exemption, sign here and stop.

_____ Seller	_____ Date	_____ Seller	_____ Date
_____ Buyer	_____ Date	_____ Buyer	_____ Date

Instructions to the Seller: (1) Complete this form yourself. (2) Report known conditions materially affecting the property and utilize ordinary care in obtaining the information. (3) Provide information in good faith and make a reasonable effort to ascertain the required information. (4) Additional pages or reports may be attached. (5) If some items do not apply to your property, write "NA" (not applicable). (6) All approximations must be identified "AP". If you do not know the facts, write or check UNKNOWN. (7) Keep a copy of this statement.

Seller's Disclosure Statement: Seller discloses the following information regarding the property and certifies this information is true and accurate to the best of my/our knowledge as of the date signed. Seller authorizes Agent to provide a copy of this statement to any person or entity in connection with actual or anticipated sale of the property or as otherwise provided by law. This statement shall not be a warranty of any kind by Seller or Seller's Agent and shall not be intended as a substitute for any inspection or warranty the purchaser may wish to obtain. The following are representations made by Seller and are not by any Agent acting on behalf of the Seller. **The Agent has no independent knowledge of the condition of the property except that which is written on this form. Seller advises Buyer to obtain independent inspections relevant to Buyer.**

Seller initials BF JK Buyer initials _____

I. Property Conditions, Improvements and Additional Information: (Section I is Mandatory)

EACH AND EVERY LINE MUST BE ADDRESSED AND MARKED

- Basement/Foundation:** Has there been known water or other problems? Yes No Unknown
 - If yes, please explain: new construction to be built
- Roof:** Any known problems? Yes No Unknown
 - Type _____
 - Date of repairs/replacement (If any) _____
 - Describe: new construction to be built
- Well and pump:** Any known problems? Yes No Unknown
 - Type of well (depth/diameter), age and date of repair: new const. to be built

3B. Has the water been tested? Yes No Unknown

3C. If yes, date of last report/results: new construction to be built

4. **Septic tanks/drain fields:** Any known problems? Yes No Unknown

Location of tank N/A Age _____ Unknown

Has the system been pumped and inspected within the last 2 years?

Yes No Unknown

Date of inspection _____ Date tank last cleaned/pumped _____ N/A

5. **Sewer:** Any known problems? Yes No Unknown

5A. Any known repairs/replacement? Yes No Unknown

5B. Date of repairs new construction to be built

6. **Heating system(s):** Any known problems? Yes No new construction to be built

6A. Any known repairs/replacement? Yes No

6B. Date of repairs _____

7. **Central Cooling system(s):** Any known problems? Yes No new construction to be built

7A. Any known repairs/replacement? Yes No

7B. Date of repairs _____

8. **Plumbing system(s):** Any known problems? Yes No new const. to be built

8A. Any known repairs/replacement? Yes No

8B. Date of repairs _____

9. **Electrical system(s):** Any known problems? Yes No new const to be built

9A. Any known repairs/replacement? Yes No

9B. Date of repairs _____

10. **Pest Infestation:** (wood-destroying insects, bats, snakes, rodents, destructive/troublesome animals, etc.)

10A. Any known problems? Yes No Unknown new const. to be built

Date of treatment _____

10B. Previous Infestation/Structural Damage? Yes No Unknown

Date of repairs _____

11. **Asbestos:** Is asbestos present in any form in the property? Yes No Unknown

11A. If yes, explain: _____

12. **Radon:** Any known tests for the presence of radon gas? Yes No

12A. If yes, test results? _____ Date of last report _____

13. **Lead Based Paint:** Known to be present or has the property been tested for the presence of lead based paint?

Yes No Unknown

13A. Provide lead based paint disclosure.

14. **Any known encroachments, easements, "common areas"** (facilities like pools, tennis courts, walkways or other areas co-owned with others), zoning matters, nonconforming uses, or a Homeowners Association which has any authority over the property? Yes No Unknown

15. Features of the property known to be shared in common with adjoining landowners, such as walls, fences, roads and driveways whose use or maintenance responsibility may have an effect on the property?

Yes No Unknown

16. Structural Damage: Any known structural damage? Yes No Unknown New const. to be built

17. Physical Problems: Any known settling, flooding, drainage or grading problems? Yes No Unknown

18. Is the property located in a flood plain? Yes No Unknown

18A. If yes, flood plain designation _____

19. Do you know the zoning classification of this property? Yes No Unknown

What is the zoning? _____

20. Covenants: Is the property subject to restrictive covenants? Yes No Unknown

If yes, attach a copy OR state where a true, current copy of the covenants can be obtained:

On file at County Recorder's office or: see Attached

You MUST explain any "Yes" responses above (Attach additional sheets if necessary): _____

Seller initials BF Buyer initials _____

II. Appliances/Systems/Services (Note: Section II is for the convenience of Buyer/Seller and is not mandatory):

Notice: Items marked "included" are intended to remain with the property after sale. However, included items may be negotiable between Buyer and Seller, and requested items should be in writing as either included or excluded in any Offer to Buy/Purchase Agreement. The Offer to Buy/Purchase Agreement shall be the final terms of any agreement.

	Working?					Working?			
	Included	Yes	No	OR N/A		Included	Yes	No	OR N/A
Range/Oven	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lawn Sprinkler System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dishwasher	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solar Heating System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Refrigerator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool Heater, Wall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hood/Fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	liner & equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Well & Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
TV receiving	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Smoke Alarm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Equipment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Septic Tank &	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sump Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drain field	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Alarm System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Water System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central AC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City Sewer System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Window AC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plumbing System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central Vacuum	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Central Heating System	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gas Grill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Water Heater	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Attic Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Intercom	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fireplace/Chimney	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Microwave	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Burning System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Trash Compactor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Furnace Humidifier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceiling Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sauna/Hot tub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Softener/	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locks and Keys	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Conditioner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dryer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LP Tanks <u>N/A</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Washer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Keys & Locks <u>PS</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Storage Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swing Set	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Underground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Basketball Hoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	"Pet fence"	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boat Hoist	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boat Dock	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pet Collars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Garage door opener	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
				# of collars	_____				
				# of remotes	_____				

Exceptions/Explanations for "NO" responses above: _____

ALL HOUSEHOLD APPLIANCES ARE NOT UNDER WARRANTY BEYOND DATE OF CLOSING.
Warranties may be available for purchase from independent warranty companies.

Seller initials BF AS Buyer initials _____

III. Additional Non-Mandatory Requested Items: Are you as the Seller aware of any of the following:

- 1. Any significant structural modification or alteration to property? Yes No Unknown Please explain: _____
- 2. Has there been a property/casualty loss over \$5,000, an insurance claim over \$5,000, OR major damage to the property from fire, wind, hail, flood(s) or other conditions? Yes No Unknown If yes, has the damage been repaired/replaced? Yes No
- 3. Are there any known current, preliminary, proposed or future assessments by any governing body or owner's association of which you have knowledge? Yes No Unknown
- 4. Mold: Does property contain toxic mold that adversely affects the property or occupants? Yes No Unknown
- 5. Private burial grounds: Does property contain any private burial ground? Yes No Unknown
- 6. Neighborhood or Stigmatizing conditions or problems affecting this property? Yes No Unknown
- 7. Energy Efficiency Testing: Has the property been tested for energy efficiency? Yes No Unknown If yes, what were the test results? _____
- 8. Attic Insulation: Type R50 cellulose Unknown Amount _____ Unknown
- 9. Are you aware of any area environmental concerns? Yes No Unknown If yes, please explain: _____
- 10. Are you related to the listing agent? Yes No If yes, how? _____
- 11. Where survey of property may be found: Clayton Co.
- 12. Wind Farms: Is the subject property encumbered by certain Wind Energy rights? Yes No If yes, rights by: Lease , Easement , Other Define Other: _____
Wind Farm Company, Owner: _____

If the answer to any item is yes, please explain. Attach additional sheets, if necessary: _____
See covenants Attached

13: Repairs: Any repair(s) to property not so noted: (Date of repairs, Name of repair company if utilized.) (Note: Repairs are not normal maintenance items) (Attach additional sheets, if necessary) None

IV. Radon Fact Sheet & Form Acknowledgement

Seller acknowledges that Buyer be provided with and the Buyer acknowledges receipt of the "Iowa Radon Home-Buyers and Sellers Fact Sheet", prepared by the Iowa Department of Public Health.

Seller [Signature] Seller [Signature] Date 7/26/22

Seller has owned the property since July 2022 (date). Seller has indicated above the history and condition of all the items based solely on the information known or reasonably available to the Seller(s). If any changes occur in the structural/mechanical/appliance systems of this property from the date of this form to the date of closing, Seller will immediately disclose the changes to Buyer. In no event shall the parties hold Broker liable for any representations not directly made by Broker or Broker's affiliated licensees (brokers and salespersons). **Seller hereby acknowledges Seller has retained a copy of this statement.**

Buyer hereby acknowledges receipt of a copy of this statement. This statement is not intended to be a warranty or to substitute for any inspection the buyer(s) may wish to obtain.

Buyer _____ Buyer _____ Date _____





SELLER DISCLOSURE OF PROPERTY CONDITION

(To be delivered prior to buyer making Offer to Buy Real Estate)



Property Owner(s) & Address:

Brenton Buildings, LLC

Unit 4 Gordon Subdivision, Monona, IA 52159-address TBD

Purpose of Disclosure: Completion of Section I this form is required under Chapter 558A of the Iowa code which mandates the Seller(s) disclose condition and information about the property, unless exempt:

Exempt Properties: Properties exempted from the Seller's disclosure requirement include (IA Code 558A): Bare ground; property containing 5 or more dwellings units; court ordered transfers; transfers by a power of attorney; foreclosures; lenders selling foreclosed properties; transfers by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust. This exemption shall not apply to a transfer of real estate in which the fiduciary is a living natural person and was an occupant in possession of the real estate at any time within the twelve consecutive months immediately preceding the date of transfer; between joint tenants, or tenants in common; to or from any governmental division; quit claim deeds; intra family transfers; between divorcing spouses; commercial or agricultural property which has no dwellings. Seller(s) certifies that the property is exempt from the requirement(s) of Iowa Code 558A because one of the above exemptions apply. If claiming an exemption, sign here and stop.

_____ Seller	_____ Date	_____ Seller	_____ Date
_____ Buyer	_____ Date	_____ Buyer	_____ Date

Instructions to the Seller: (1) Complete this form yourself. (2) Report known conditions materially affecting the property and utilize ordinary care in obtaining the information. (3) Provide information in good faith and make a reasonable effort to ascertain the required information. (4) Additional pages or reports may be attached. (5) If some items do not apply to your property, write "NA" (not applicable). (6) All approximations must be identified "AP". If you do not know the facts, write or check UNKNOWN. (7) Keep a copy of this statement.

Seller's Disclosure Statement: Seller discloses the following information regarding the property and certifies this information is true and accurate to the best of my/our knowledge as of the date signed. Seller authorizes Agent to provide a copy of this statement to any person or entity in connection with actual or anticipated sale of the property or as otherwise provided by law. This statement shall not be a warranty of any kind by Seller or Seller's Agent and shall not be intended as a substitute for any inspection or warranty the purchaser may wish to obtain. The following are representations made by Seller and are not by any Agent acting on behalf of the Seller. **The Agent has no independent knowledge of the condition of the property except that which is written on this form. Seller advises Buyer to obtain independent inspections relevant to Buyer.**

Seller initials BF AMT Buyer initials _____

I. Property Conditions, Improvements and Additional Information: (Section I is Mandatory)

EACH AND EVERY LINE MUST BE ADDRESSED AND MARKED

- Basement/Foundation:** Has there been known water or other problems? Yes No Unknown
1A. If yes, please explain: New Construction to be built
- Roof:** Any known problems? Yes No Unknown
2A. Type _____
2B. Date of repairs/replacement (If any) _____
Describe: New construction to be built
- Well and pump:** Any known problems? Yes No Unknown
3A. Type of well (depth/diameter), age and date of repair: _____

3B. Has the water been tested? Yes No Unknown

3C. If yes, date of last report/results: New const. to be built

4. **Septic tanks/drain fields:** Any known problems? Yes No Unknown

Location of tank N/A Age _____ Unknown

Has the system been pumped and inspected within the last 2 years?

Yes No Unknown

Date of inspection _____ Date tank last cleaned/pumped _____ N/A

5. **Sewer:** Any known problems? Yes No Unknown New const. to be built

5A. Any known repairs/replacement? Yes No Unknown

5B. Date of repairs _____

6. **Heating system(s):** Any known problems? Yes No New const. to be built

6A. Any known repairs/replacement? Yes No

6B. Date of repairs _____

7. **Central Cooling system(s):** Any known problems? Yes No New const. to be built

7A. Any known repairs/replacement? Yes No

7B. Date of repairs _____

8. **Plumbing system(s):** Any known problems? Yes No New const. to be built

8A. Any known repairs/replacement? Yes No

8B. Date of repairs _____

9. **Electrical system(s):** Any known problems? Yes No New const. to be built

9A. Any known repairs/replacement? Yes No

9B. Date of repairs _____

10. **Pest Infestation:** (wood-destroying insects, bats, snakes, rodents, destructive/troublesome animals, etc.)

10A. Any known problems? Yes No Unknown New const. to be built

Date of treatment _____

10B. Previous Infestation/Structural Damage? Yes No Unknown

Date of repairs _____

11. **Asbestos:** Is asbestos present in any form in the property? Yes No Unknown

11A. If yes, explain: _____

12. **Radon:** Any known tests for the presence of radon gas? Yes No

12A. If yes, test results? _____ Date of last report _____

13. **Lead Based Paint:** Known to be present or has the property been tested for the presence of lead based paint?

Yes No Unknown

13A. Provide lead based paint disclosure.

14. **Any known encroachments, easements, "common areas"** (facilities like pools, tennis courts, walkways or other areas co-owned with others), zoning matters, nonconforming uses, or a Homeowners Association which has any authority over the property? Yes No Unknown

15. Features of the property known to be shared in common with adjoining landowners, such as walls, fences, roads and driveways whose use or maintenance responsibility may have an effect on the property?

Yes No Unknown

16. Structural Damage: Any known structural damage? Yes No Unknown New construction

17. Physical Problems: Any known settling, flooding, drainage or grading problems? Yes No Unknown

18. Is the property located in a flood plain? Yes No Unknown

18A. If yes, flood plain designation _____

19. Do you know the zoning classification of this property? Yes No Unknown

What is the zoning? _____

20. Covenants: Is the property subject to restrictive covenants? Yes No Unknown

If yes, attach a copy OR state where a true, current copy of the covenants can be obtained:

On file at County Recorder's office or: see Attached

You **MUST** explain any "Yes" responses above (Attach additional sheets if necessary): _____

Seller initials DF HW Buyer initials _____

II. Appliances/Systems/Services (Note: Section II is for the convenience of Buyer/Seller and is not mandatory):

Notice: Items marked "included" are intended to remain with the property after sale. However, included items may be negotiable between Buyer and Seller, and requested items should be in writing as either included or excluded in any Offer to Buy/Purchase Agreement. The Offer to Buy/Purchase Agreement shall be the final terms of any agreement.

	Working?					Working?			
	Included	Yes	No	OR N/A		Included	Yes	No	OR N/A
Range/Oven	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lawn Sprinkler System		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dishwasher	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solar Heating System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Refrigerator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool Heater, Wall				
Hood/Fan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	liner & equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Well & Pump		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
TV receiving					Smoke Alarm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Equipment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Septic Tank &				
Sump Pump	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drain field		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Alarm System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Water System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central AC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	City Sewer System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Window AC	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plumbing System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Central Vacuum				<input checked="" type="checkbox"/>	Central Heating System		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gas Grill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Water Heater		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Attic Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Windows		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Intercom				<input checked="" type="checkbox"/>	Fireplace/Chimney	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Microwave	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Burning System	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Trash Compactor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Furnace Humidifier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceiling Fan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sauna/Hot tub	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Softener/					Locks and Keys	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Conditioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dryer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LP Tanks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Washer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Keys & Locks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Storage Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Swing Set	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Underground				
Basketball Hoop	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	"Pet fence"	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Boat Hoist	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boat Dock	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pet Collars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Garage door opener	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>					
					# of collars				
					# of remotes				

Exceptions/Explanations for "NO" responses above: _____

ALL HOUSEHOLD APPLIANCES ARE NOT UNDER WARRANTY BEYOND DATE OF CLOSING.
Warranties may be available for purchase from independent warranty companies.

Seller initials *JK* *BF* Buyer initials _____

III. Additional Non-Mandatory Requested Items: Are you as the Seller aware of any of the following:

1. Any significant structural modification or alteration to property? Yes No Unknown Please explain: _____
2. Has there been a property/casualty loss over \$5,000, an insurance claim over \$5,000, OR major damage to the property from fire, wind, hail, flood(s) or other conditions? Yes No Unknown If yes, has the damage been repaired/replaced? Yes No
3. Are there any known current, preliminary, proposed or future assessments by any governing body or owner's association of which you have knowledge? Yes No Unknown
4. Mold: Does property contain toxic mold that adversely affects the property or occupants? Yes No Unknown
5. Private burial grounds: Does property contain any private burial ground? Yes No Unknown
6. Neighborhood or Stigmatizing conditions or problems affecting this property? Yes No Unknown
7. Energy Efficiency Testing: Has the property been tested for energy efficiency? Yes No Unknown If yes, what were the test results? _____
8. Attic Insulation: Type *R50 cellulose* Unknown Amount _____ Unknown
9. Are you aware of any area environmental concerns? Yes No Unknown If yes, please explain: _____
10. Are you related to the listing agent? Yes No If yes, how? _____
11. Where survey of property may be found: *Clayton Co.*
12. Wind Farms: Is the subject property encumbered by certain Wind Energy rights? Yes No If yes, rights by: Lease , Easement , Other Define Other: _____
Wind Farm Company, Owner: _____

If the answer to any item is yes, please explain. Attach additional sheets, if necessary: *See Attached Covenants*

13. Repairs: Any repair(s) to property, not so noted: (Date of repairs, Name of repair company if utilized.) (Note: Repairs are not normal maintenance items) (Attach additional sheets, if necessary)

IV. Radon Fact Sheet & Form Acknowledgement

Seller acknowledges that Buyer be provided with and the Buyer acknowledges receipt of the "Iowa Radon Home-Buyers and Sellers Fact Sheet", prepared by the Iowa Department of Public Health.

Seller [Signature] Seller [Signature] Date 7/26/22

Seller has owned the property since July 2022 (date). Seller has indicated above the history and condition of all the items based solely on the information known or reasonably available to the Seller(s). If any changes occur in the structural/mechanical/appliance systems of this property from the date of this form to the date of closing, Seller will immediately disclose the changes to Buyer. In no event shall the parties hold Broker liable for any representations not directly made by Broker or Broker's affiliated licensees (brokers and salespersons). Seller hereby acknowledges Seller has retained a copy of this statement.

Buyer hereby acknowledges receipt of a copy of this statement. This statement is not intended to be a warranty or to substitute for any inspection the buyer(s) may wish to obtain.

Buyer _____ Buyer _____ Date _____



SUE MEYER
CLAYTON COUNTY RECORDER
ELKADER, IA
RECORDED ON
11/23/2005 11:38AM
REC FEE: 17.00
PAGES: 3
STAMP#:


Prepared by Kevin H. Clefisch, 108 S. Main St., Garnavillo, Iowa (563) 964-2675
Return Document to: Monona Enterprises, Inc., 106 S. Main, Monona, IA 52159

SUBSTITUTED AND AMENDED
COVENANTS
for
Gordon Subdivision

1. Each lot shall be used solely for single family or duplex residences. The structures shall be no more than two stories high.
2. Each lot shall be used for residential purposes and for the construction of residential homes. No residential lot as platted shall be subdivided nor shall any lots be combined, unless approved by Monona Enterprise Group.
3. One outbuilding per lot is allowed and shall not exceed 144 square feet. No building of any kind shall be moved onto a residential lot except pursuant to the zoning ordinance of the City of Monona, Iowa. No structure of temporary character, including but not limited to, trailer, basement, tent shack, garage, barn or other outbuildings shall be used on any lot at any time as a residence, either temporarily or permanently. No dog kennel shall be allowed on any lot and only one (1) dog house of not more than 16 square feet in area shall be allowed.
4. Each residence shall have a minimum ground floor square footage of livable space exclusive of porches and garages, as follows:
 - a. Single family homes – 1,200.00 square feet
 - b. Duplexes – 900 square feet per unit
 - c. All other (split foyer or level, story and a half and other multilevel dwellings) – 800 square feet
5. No mobile homes shall be allowed or used as a residence, either temporarily or permanently, within the subdivision.
6. No semi-truck (cab unit) or truck trailer, or any vehicle used in the transportation or storage of hazardous or flammable material shall be parked or stored in the subdivision, either temporarily or permanently.
7. Fences shall be allowed subject to the Monona Zoning Ordinance.
8. A lot owner shall plant a minimum of two approved trees in the parking area after the residential home is constructed.
9. There shall be a minimum roof pitch of 6/12.
10. Every homeowner shall construct a public sidewalk running along the front lot line at the time of home construction. The construction of homes shall comply to the Monona City Ordinance specifications.
11. No garbage, ashes, or refuse shall be permitted on any lot that is exposed to public view and no outside incinerators shall be permitted. Also, no rubbish shall be burned outside of any residence except for yard waste burning pursuant to applicable City of Monona ordinances.
12. Occupations or businesses conducted out of or within a residential home shall be permitted

- subject to the applicable provisions of the City of Monona Zoning Ordinance.
13. No signs shall be allowed except for those allowed by Monona Zoning Ordinance.
 14. Each lot shall at all times be maintained in neat and orderly condition and in an appearance commensurate with the character of the subdivision. No poultry or animals of any type shall be kept or housed on any lot, except for domestic dogs or cats.
 15. No noxious, offensive, or illegal activity shall be conducted upon any lot, nor shall any act be committed thereon that may be or become an annoyance or nuisance to the subdivision residents; and, no materials shall be stored or kept inside or in front of any subdivision residence, except for the purpose of immediate incorporation into a structure on the residential lot.
 16. Television antennas may be installed on a subdivision home, but not with the use of any type of free standing tower or pole.
 17. The purchaser of a lot shall commence construction of a residence within six months from the date of purchase and shall complete residence construction as soon as possible. The purchaser shall submit building plans and specifications to the Monona Enterprise Group, Inc. for approval prior to construction. The purchaser may request an extension to complete construction in the event unforeseen circumstances beyond the control of the purchaser occur.
 18. All single family residences shall have at a minimum a double attached garage and paved driveway of at least 20 feet in width. The paving shall be continuous from the garage to the street.
 19. No vehicles of any type shall be parked off the paved driveway of a lot.
 20. No building or house shall be moved onto any lot, except for a new and never occupied modular type home meeting all the requirements herein.
 21. In the event the owners of any lot, or their heirs, successors, or assigns violate or attempt to violate, any of the covenants and restrictions herein stated, any person or persons, owning any lot in said subdivision may prosecute any proceeding at law or in equity against the person or persons violating or attempting to violate any such covenant or restriction to prevent the violating party from so doing and/or to recover damages for such violation.
 22. If any section, provision, or part of the covenants set forth herein is adjudged invalid or unconstitutional, such adjudication will not affect the validity of the covenants as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.
 23. The covenants, restrictions, or reservations above set forth may be partly or wholly waived, released, amended, or otherwise modified by written consent of seventy-five percent (75%) of the record owners of lots within the subdivision.
 24. The foregoing covenants substitute and replace the Covenants for Gordon Subdivision filed September 27, 2004 with the Recorder of Clayton County, Iowa as Instrument No. 2004-3397.

The foregoing Covenants are hereby passed and approved this 23rd day of September, 2005 with the written consent of seventy-five percent (75%) of record owner(s) of lots within the Gordon Subdivision.



Thomas Wilke, Vice President
Monona Enterprises, Inc.

ATTEST:



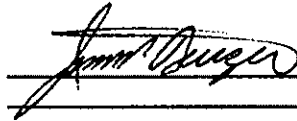
Connie Halvorson, Secretary

STATE OF IOWA, COUNTY OF CLAYTON: ss

On this 23 day of September, 2005, before me, the undersigned, a Notary Public in and for said State of Iowa, personally appeared Thomas Wilke and Connie Halvorson, to me personally known, who being duly sworn, did say that they are the Vice President and Secretary, respectively, of the

corporation executing the within and foregoing instrument, that no seal has been procured by the corporation; that the instrument was signed on behalf of the corporation by authority of its Board of Directors; and that Thomas Wilke and Connie Halvorson as officers acknowledged the execution of the foregoing instrument to be the voluntary act and deed of the corporation, by it and by them voluntarily executed.




_____, Notary Public

**** By Laws for Monona Condos (Preliminary Draft)**

Listed below are the bylaws of the Monona Condos

- 1) Bylaws will be administered by a board of directors consisting of (1) member for each unit
- 2) Members will vote to establish a President
- 3) Members will vote to establish a Secretary/Treasurer
- 4) In making decision on Association funds each member of the board is entitled to (1) vote
- 5) In the event of a tie the President of the Association Holds the tie breaking vote
- 6) Initial fee is set at \$150.00 per month paid into an association checking account
- 7) Members are allowed a Garden up to 10'x20' directly behind their unit area
- 8) Association fees are to be used explicitly for the following uses: snow removal, lawn mowing and maintenance, driveway repair/sealing, roofing and siding replacement, insurance for the outside of the building
- 9) Treasurer/Secretary is responsible for taking meeting minutes and paying debts of the association
- 10) Bylaws may be changed with a majority vote at any time
- 11) Each owner upon purchase must sign a copy acknowledging the bylaws which is kept with association records.

Acknowledged _____ Date: _____

****These By-Laws are subject to change from this preliminary draft.**

BRENTON BUILDINGS

MONONA, IOWA

DATE 07-28-22

Submitted to 4 plex Formanek condo

Building Material Description

1. 2x6
2. studs
3. Engineered roof trusses and gable bracing, 30-10-10 loading 2' on center
4. 4 inch concrete floor and 4 inch garage and pad in front of door. pad is 24x20
5. 6 inch concrete footings
6. 8ft walls
7. Marketplace flat panel birch cabinets or painted cabinets.
8. Granite countertops in the kitchen
9. 2.75 inch base hookstrap and 2.25 inch casing
10. 6panel solid core doors in all rooms, closets have 6panel hollow core
11. Alliance hawthorne windows and patio doors if a patio
12. 3-0 full lite dr into sunroom or screened in porch
13. Vinyl siding with brick 36inch in front of house
14. R50cellulose ceiling with r19 sidewalls
15. Double wall between units with r11 each wall
16. 1/2drywall walls with 5/8drywall ceiling ,attic draftstop or fire rated osb in the rafters
17. Garage 1/2drywall sidewalls with 5/8 drywall ceiling and wall to house

18. Vanity tops by /Bertch bath
19. Garage door insulated with steel backer with Insulated lites
20. Can lites in kitchen, bathrooms. Ceiling fans in bedrooms and living rooms
21. Painting included
22. Fiberglass tub and shower units
23. Vinyl clad jams on exterior doors with a half lite
24. 6panel door from garage to the house not cladded
25. Flooring water proof laminate flooring
26. Seeded grass