



106 S. Main St., Monona, IA 52159

(563)539-2015

freedomagencymonona.com

Jim Moritz, Broker Cell: 563-880-8189

Tom Neuhaus, Broker Associate Cell: 563-537-1052

Monona Enterprises, Inc.

Four Building Lots in the Gordon sub-division, Monona, IA.

Lots are located adjacent to the Butterfly Walking trail and the Darby Family Aquatic Center.

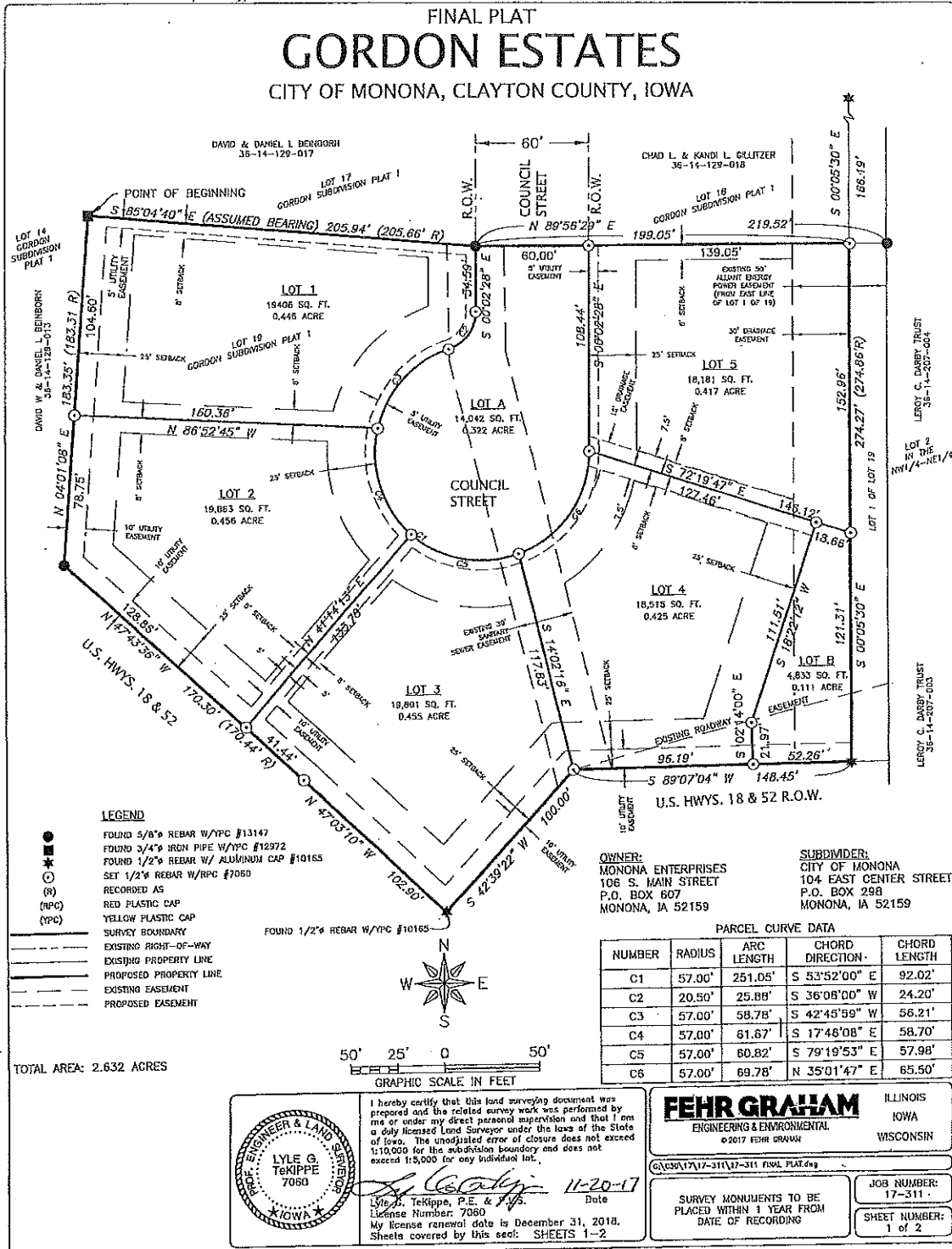
Call today to reserve your building lot for only \$15,000.

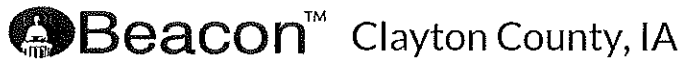


Recorder's Index	
County:	CLAYTON
Section:	14-195N-R5W
Quarter Section:	NW 1/4
City:	MONONA
Subdivision:	GORDON ESTATES
Block:	N/A
Lot(s):	1, 2, 3, 4, 5, A, AND B
Proprietor:	MONONA ENTERPRISES
Requested by:	CITY OF MONONA

2017R04072
SUE MEYER
CLAYTON COUNTY RECORDER
ELKADER, IA
RECORDED ON
12/18/2017 4:16 PM
REC FEE: 67.00
PAGES: 1

Prepared by/Return to: FEHR GRAHAM, 128 S. Vine Street, West Union IA 52175 -- Ph: (563)422-5131





Summary

Parcel ID 36-14-129-031
 Alternate ID
 Property Address N/A
 Sec/Twp/Rng N/A
 Brief Tax Description MONONA GORDON ESTATES LOT 2
 (Note: Not to be used on legal documents)
 Deed Book/Page 39-70 (12/18/2017)
 Contract Book/Page
 Gross Acres 0.00
 Net Acres 0.00
 Class R - Residential
 (Note: This is for tax purposes only. Not to be used for zoning.)
 District MO MF - MO MF
 School District MFL MarMac School

Owners

<p>Deed Holder Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>	<p>Contract Holder</p>	<p>Mailing Address Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>
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Land

Lot Area 0.46 Acres ; 19,950 SF

Valuation

Classification	2018	2017
	Residential	Residential
+ Assessed Land Value	\$7,235	\$7,235
+ Assessed Building Value	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0
= Gross Assessed Value	\$7,235	\$7,235
- Exempt Value	\$0	\$0
= Net Assessed Value	\$7,235	\$7,235

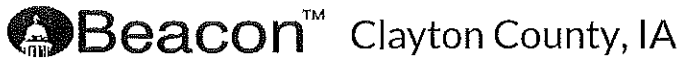
Tax History

No data available for the following modules: Doing Business AS, Ag Soils, Residential Dwellings, Commercial Buildings, Agricultural Buildings, Yard Extras, Sales, Taxation, Tax Statements, Special Assessments, Iowa Land Records, Photos, Sketches.

Disclaimer: The information in this web site represents current data from a working file which is updated continuously. This information is used for property tax purposes only and is available as a reference for information that is believed reliable, but its accuracy cannot be guaranteed. Clayton County Assessors office does not determine the ownership of any real property.

Last Data Upload: 4/20/2018 3:36:15 AM





Summary

Parcel ID 36-14-129-032
 Alternate ID
 Property Address N/A
 Sec/Twp/Rng N/A
 Brief Tax Description MONONA GORDON ESTATES LOT 3
 (Note: Not to be used on legal documents)
 Deed Book/Page 39-70 (12/18/2017)
 Contract Book/Page
 Gross Acres 0.00
 Net Acres 0.00
 Class R - Residential
 (Note: This is for tax purposes only. Not to be used for zoning.)
 District MO MF - MO MF
 School District MFL MarMac School

Owners

<p>Deed Holder Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>	<p>Contract Holder</p>	<p>Mailing Address Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>
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Land

Lot Area 0.46 Acres ; 19,820 SF

Valuation

Classification	2018	2017
	Residential	Residential
+ Assessed Land Value	\$6,810	\$6,810
+ Assessed Building Value	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0
= Gross Assessed Value	\$6,810	\$6,810
- Exempt Value	\$0	\$0
= Net Assessed Value	\$6,810	\$6,810

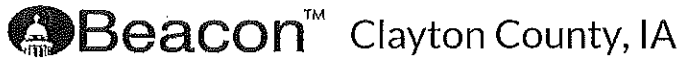
Tax History

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Summary

Parcel ID 36-14-129-033
 Alternate ID
 Property Address N/A
 Sec/Twp/Rng N/A
 Brief Tax Description MONONA GORDON ESTATES LOT 4
 (Note: Not to be used on legal documents)
 Deed Book/Page 39-70 (12/18/2017)
 Contract Book/Page
 Gross Acres 0.00
 Net Acres 0.00
 Class R - Residential
 (Note: This is for tax purposes only. Not to be used for zoning.)
 District MO MF - MO MF
 School District MFL MarMac.School

Owners

<p>Deed Holder Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>	<p>Contract Holder</p>	<p>Mailing Address Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>
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Land

Lot Area 0.43 Acres; 18,513 SF

Valuation

Classification	2018	2017
	Residential	Residential
+ Assessed Land Value	\$6,384	\$6,384
+ Assessed Building Value	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0
= Gross Assessed Value	\$6,384	\$6,384
- Exempt Value	\$0	\$0
= Net Assessed Value	\$6,384	\$6,384

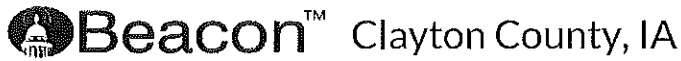
Tax History

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Summary

Parcel ID 36-14-129-034
 Alternate ID
 Property Address N/A
 Sec/Twp/Rng N/A
 Brief Tax Description MONONA GORDON ESTATES LOT 5
 (Note: Not to be used on legal documents)
 Deed Book/Page 39-70 (12/18/2017)
 Contract Book/Page
 Gross Acres 0.00
 Net Acres 0.00
 Class R - Residential
 (Note: This is for tax purposes only. Not to be used for zoning.)
 District MOMF - MO MF
 School District MFL MarMac School

Owners

<p>Deed Holder Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>	<p>Contract Holder</p>	<p>Mailing Address Monona Enterprises 106 S Main St PO Box 607 Monona IA 52159</p>
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Land

Lot Area 0.42 Acres ; 18,165 SF

Valuation

Classification	2018	2017
	Residential	Residential
+ Assessed Land Value	\$6,384	\$6,384
+ Assessed Building Value	\$0	\$0
+ Assessed Dwelling Value	\$0	\$0
= Gross Assessed Value	\$6,384	\$6,384
- Exempt Value	\$0	\$0
= Net Assessed Value	\$6,384	\$6,384

Tax History

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